SITE PLANS FOR CLUTE PARK REDEVELOPMENT PROJECT

EAST 4TH STREET, WATKINS GLEN, NY



LOCATION MAP

100% CONSTRUCTION DOCUMENTS 07/17/2024

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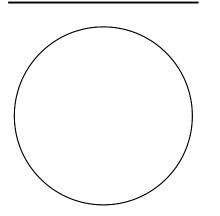


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 File Name: G-001 COVER SHEET







SCHUYLER COUNTY as agent of VILLAGE OF WATKINS GLEN

CLUTE PARK REDEVELOPMENT

EAST 4TH STREET, WATKINS GLEN, NY 14891

Scale Project No. 192311450 Revision Sheet Drawing No.

of 10

GENERAL NOTES:

- UNLESS SPECIFICALLY STATED HEREIN, THESE PLANS ARE NOT SUITABLE FOR MACHINE GUIDANCE USE OR PURPOSES DURING CONSTRUCTION. NO GUARANTEE IS MADE THAT THE ELECTRONIC DATA SYSTEMS OR FILE STRUCTURE USED BY STANTEC WILL BE COMPATIBLE WITH THE ELECTRONIC SYSTEMS USED BY THE CONTRACTOR. INFORMATION SHOWN ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE ELECTRONIC FILES DATA.
- 2. THE CONTRACTOR SHALL VERIFY SITE CONDITIONS, COORDINATE DIMENSIONS, ELEVATIONS AND DETAILS SHOWN ON CONTRACT DRAWINGS. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO PREPARATION OF SHOP DRAWINGS AND THE COMMENCEMENT OF CONSTRUCTION.
- 3. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS, SPECIFICATIONS AND REQUIREMENTS OF THE VILLAGE OF WATKINS GLEN AND/OR THE APPROPRIATE SEWER, DRAINAGE, AND/OR WATER DISTRICTS & NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION UNLESS OTHERWISE NOTED.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY ALL FEES ASSOCIATED WITH ALL PERMITS AND PROVIDE ALL BONDS REQUIRED FOR THIS WORK INCLUDING BUT NOT LIMITED TO, OFF-SITE HIGHWAY IMPROVEMENTS, UTILITY CONNECTIONS AND BUILDING & SITE CONSTRUCTION.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE THAT ALL NECESSARY PERMITS, CERTIFICATIONS, AND/OR INSPECTIONS, REQUIRED BY CODES AND/OR UTILITY SERVICE PROVIDERS, ARE OBTAINED PRIOR TO ANNOUNCED BUILDING / SITE POSSESSION AND/OR THE FINAL CONNECTION OF SERVICES.
- 6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE OWNERS REPRESENTATIVE SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
- 7. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND R.O.W. MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE SCHULYER COUNTY GEODETIC SURVEY OFFICE.
- 8. CAUTION NOTICE TO CONTRACTOR:

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND/OR DIG SAFE SERVICE AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES, WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY LOCATIONS. COORDINATE WORK WITH ALL PROJECT CONTRACTORS AND OWNER'S REPRESENTATIVE.

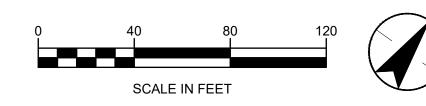
9. IF A STAGING AREA IS REQUIRED COORDINATE THE LOCATION WITH OWNER'S REPRESENTATIVE. THE STAGING AREA SHALL BE

CLEANED AND SURFACES RESTORED TO EXISTING CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.

- 10. MAINTENANCE AND PROTECTION OF TRAFFIC ALONG WITH SECURING THE WORK AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. PROVIDE TEMPORARY BARRICADES AND/OR OTHER APPROPRIATE EQUIPMENT AS REQUIRED TO DIRECT VEHICLE TRAFFIC AND PEDESTRIANS AWAY FROM WORK AREAS.
- 11. ALL DEBRIS AND SOILS DERIVED FROM THE CONTRACTOR'S OPERATIONS FOUND IN THE PUBLIC RIGHT-OF-WAY OR CAUSING NUISANCE TO OPERATIONS SHALL BE CLEANED AND REMOVED ON A DAILY BASIS OR WHEN NOTIFIED BY THE OWNER'S REPRESENTATIVE.
- 12. THE DRAWINGS ARE INTENDED TO REQUIRE AND TO INCLUDE ALL LABOR, MATERIAL AND EQUIPMENT PROPER FOR THE WORK.
- 13. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PROCEDURES. THE OWNER/ENGINEER/ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR OR THEIR AGENTS, EMPLOYEES OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.
- 14. OBSERVE ALL OSHA AND OTHER APPLICABLE SAFETY REQUIREMENTS INCLUDING THE USE OF SAFETY GLASSES, HARD HATS AND PROTECTION OF THE AREA AT ALL TIMES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR CONSTRUCTION SAFETY AT ALL TIMES.
- 15. SAFETY: THE CONTRACTOR IS RESPONSIBLE FOR OVERSEEING THE SAFE OPERATION OF ALL EQUIPMENT IN HIS USE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL OF THE EQUIPMENT IN HIS USE IN A SAFE CONDITION. CONDUCT ALL CONSTRUCTION OPERATIONS IN A SAFE MANNER FOR EMPLOYEES AS WELL AS OTHER WORK PERSONS OR ANYONE VISITING THE JOB SITE. PROVIDE BARRIERS, FLAGS, TAPE, ETC., AS REQUIRED FOR SAFETY. SUBCONTRACTOR IS RESPONSIBLE TO REVIEW AND IMPLEMENT SAFETY PROCEDURES AS DETAILED IN THE OWNER'S SAFETY POLICIES.
- 16. STORAGE OF EQUIPMENT AND SUPPLIES: STORAGE OF EQUIPMENT AND SUPPLIES FOR THE WORK IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SCHEDULED FOR DELIVERY TO THE SITE AS THE EQUIPMENT OR SUPPLIES ARE REQUIRED. DAMAGE TO THE EQUIPMENT DELIVERED TO THE SITE OR IN TRANSPORT TO THE JOB SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 17. DAMAGE RESPONSIBILITY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY LOSS OR DAMAGE CAUSED BY HIM OR HIS WORKMEN TO THE EXISTING FACILITY OR FEATURES DURING THE COURSE OF CONSTRUCTION AND SHALL BE FULLY RESPONSIBLE FOR REPAIRING OR REPLACING IN KIND, AS REQUIRED, TO ENSURE RESTORATION TO THE ORIGINAL CONDITION AND AT NO COST TO OWNER.
- 18. SEE SPECIFICATIONS FOR THE FULL SCOPE OF REQUIREMENTS APPLICABLE TO THIS PROJECT.
- 19. SHOP DRAWINGS: REPRODUCTION OF DESIGN DRAWINGS SHALL NOT BE PERMITTED. CONTRACTOR SHALL REVIEW AND PROVIDE REVIEW STAMP ON SHOP DRAWING SUBMISSION PRIOR TO SUBMITTAL TO OWNER'S REPRESENTATIVE INDICATING UNDERSTANDING AND ACCEPTANCE OF SUBMITTAL AND CONFIRMING CONFORMANCE TO PROJECT DRAWINGS/SPECIFICATIONS.
- 20. ALL SUBMITTAL/SHOP DRAWINGS SHALL CONTAIN COMPLETE INFORMATION NECESSARY TO DETERMINE THAT THE ITEM IS APPROPRIATE FOR THE PURPOSE INTENDED. ALL SUBMITTAL/SHOP DRAWINGS SHALL CONTAIN THE MANUFACTURER'S NAME, THE MANUFACTURER'S CONTACT PERSON, CURRENT TELEPHONE NUMBER AND SHALL BE STAMPED BY THE CONTRACTOR FOR CONFORMANCE PRIOR TO SUBMITTAL.
- 21. SHOP DRAWINGS: ALL EQUIPMENT TO BEAR U.L. LABEL OR THAT OF ANOTHER ACCEPTABLE TESTING LABORATORY WHEN SUCH

LISTINGS EXIST FOR COMPARABLE EQUIPMENT.

- 22. CONFLICTING STANDARDS: IN THE CASE OF CONFLICT BETWEEN THE CONTRACT DOCUMENTS AND THE GOVERNING CODE OR ORDINANCE, THE MORE STRINGENT STANDARD SHALL APPLY.
- 23. ACCEPTANCE OF CONDITIONS: INITIATING WORK CONSTITUTES CONTRACTOR ACCEPTANCE OF THE EXISTING CONDITIONS ASSOCIATED WITH THE WORK IN QUESTION.
- 24. TRADE LICENSE: THE CONTRACTOR SHALL BE CURRENTLY LICENSED TO PERFORM THE WORK WITHIN THE JURISDICTION HAVING AUTHORITY. ALL REQUIRED LICENSING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK.
- 25. PROFESSIONALISM AND APPEARANCE OF WORK: WORKMANSHIP OF ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH ACCEPTED PRACTICES OF THIS TRADE. INSTALLATION METHODS SHALL CONFORM TO PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE PROJECT WITH QUALIFIED JOURNEYMEN AND EMPLOYEES IN THIS TRADE FOR THE DURATION OF THE PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMMUNICATE WITH AND KEEP THE OWNER APPRISED OF CHANGES OR CLARIFICATIONS.
- 26. UTILITY COORDINATION: CONTRACTOR SHALL CONTACT ALL UTILITIES AND VERIFY ALL UTILITY REQUIREMENTS PRIOR TO COMMENCING OR ORDERING ANY MATERIALS WHATSOEVER. CONFLICTS BETWEEN UTILITY REQUIREMENTS AND THE PLANS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO COMMENCING CONSTRUCTION OR ORDERING ANY MATERIALS WHATSOEVER.
- 27. CONTRACTOR SHALL CALL FOR A PRE-CONSTRUCTION FACE-TO-FACE MEETING WITH THE GAS/ELECTRIC/COMMUNICATION UTILITY COMPANIES TO REVIEW REQUIREMENTS, PLANS AND MAKE ARRANGEMENTS FOR UTILITY COMPANY ENGINEERED DRAWINGS.
- 28. DIAGRAMMATIC PLANS: DRAWINGS ARE DIAGRAMMATIC IN NATURE. THE EXACT LOCATIONS AND ARRANGEMENT OF ALL PARTS SHALL BE CONFIRMED WITH THE OWNER BEFORE WORK PROGRESSES. CONTRACTOR SHALL VERIFY COORDINATES WITH PLAN LOCATIONS PRIOR TO CONSTRUCTION STAKEOUT. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO STAKEOUT.
- 29. INCIDENTAL ITEMS: INCIDENTAL ITEMS NOT INDICATED ON DRAWINGS, NOT MENTIONED IN THE SPECIFICATIONS THAT CAN BE LEGITIMATELY AND REASONABLY INFERRED TO BELONG TO THE WORK DESCRIBED OR NECESSARY IN GOOD PRACTICE TO PROVIDE A COMPLETE SYSTEM, SHALL BE FURNISHED AND INSTALLED AS THOUGH ITEMIZED HERE IN EVERY DETAIL.
- 30. ANY WORK NOT CONFORMING TO PLANS, SPECIFICATIONS, CODES OR MANUFACTURER'S RECOMMENDATIONS OR UNACCEPTABLE TO THE OWNER'S Q.C. REPRESENTATIVE OR TO THE LOCAL GOVERNING AUTHORITY SHALL BE REPAIRED OR REPLACED BY THE SUBCONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- 31. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. SLIGHT FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.





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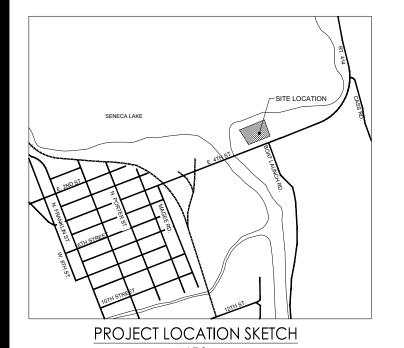
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Notes



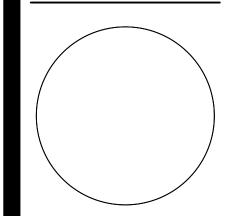
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CONDITIONS PLAN
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Client/Project Logo





Client/Project
SCHUYLER COUNTY as agent of VILLAGE OF
WATKINS GLEN

CLUTE PARK REDEVELOPMENT

EAST 4TH STREET, WATKINS GLEN, NY 14891

Title OVERALL EXISTING

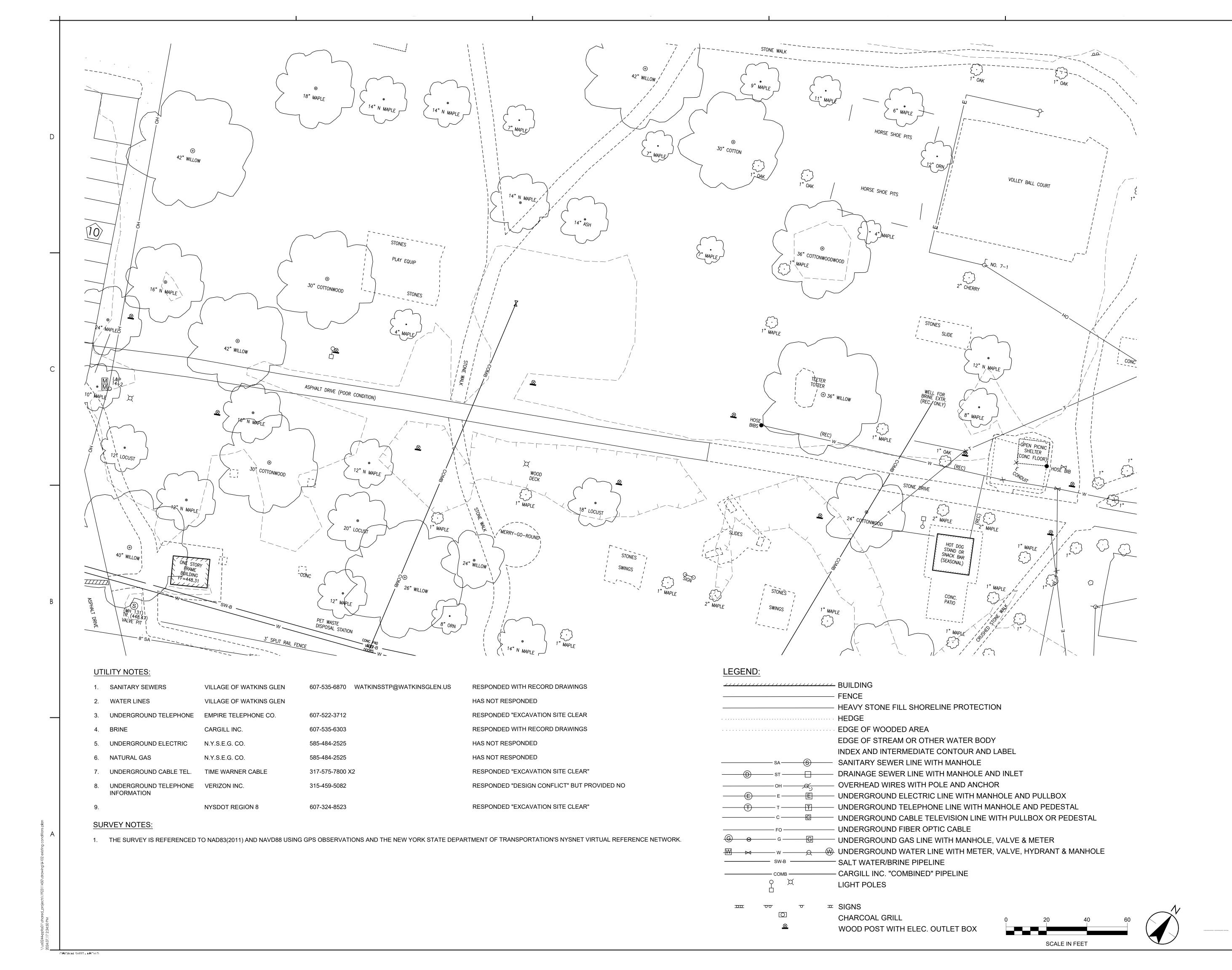
CONDITIONS PLAN

Project No.
192311450

Revision Sheet

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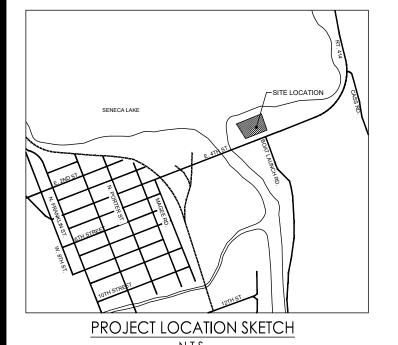


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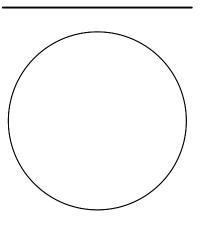
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SCHUYLER COUNTY as agent of VILLAGE OF WATKINS GLEN

CLUTE PARK REDEVELOPMENT

EAST 4TH STREET, WATKINS GLEN, NY 14891

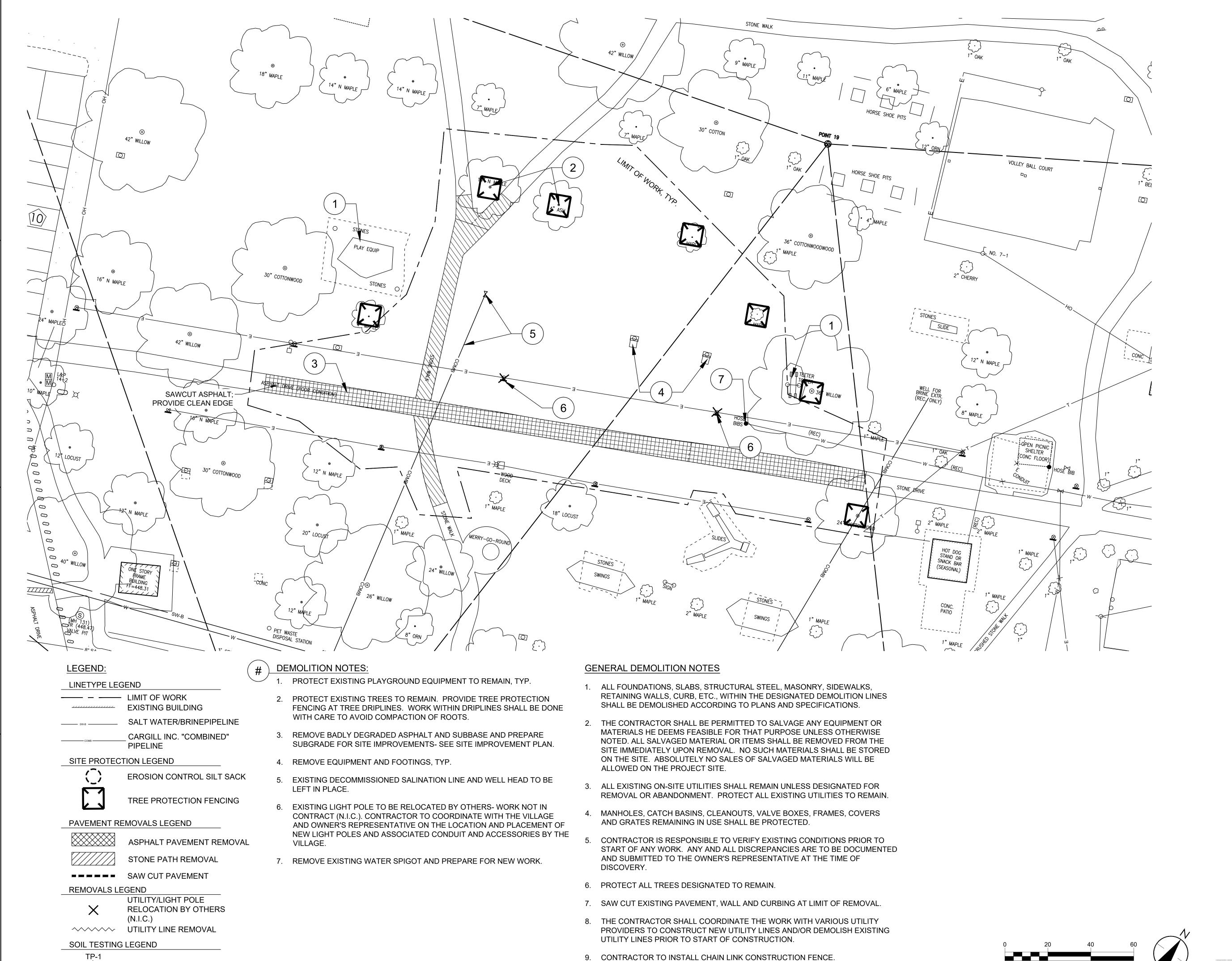
EXISTING CONDITIONS PLAN

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TEST PIT LOCATION

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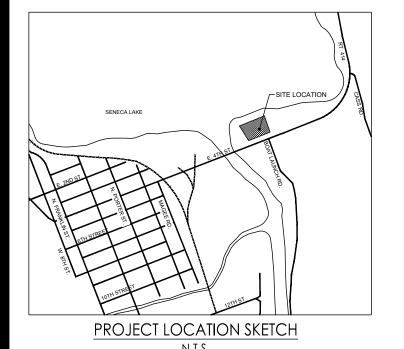


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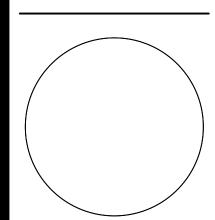
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SCHUYLER COUNTY as agent of VILLAGE OF WATKINS GLEN

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CLUTE PARK REDEVELOPMENT

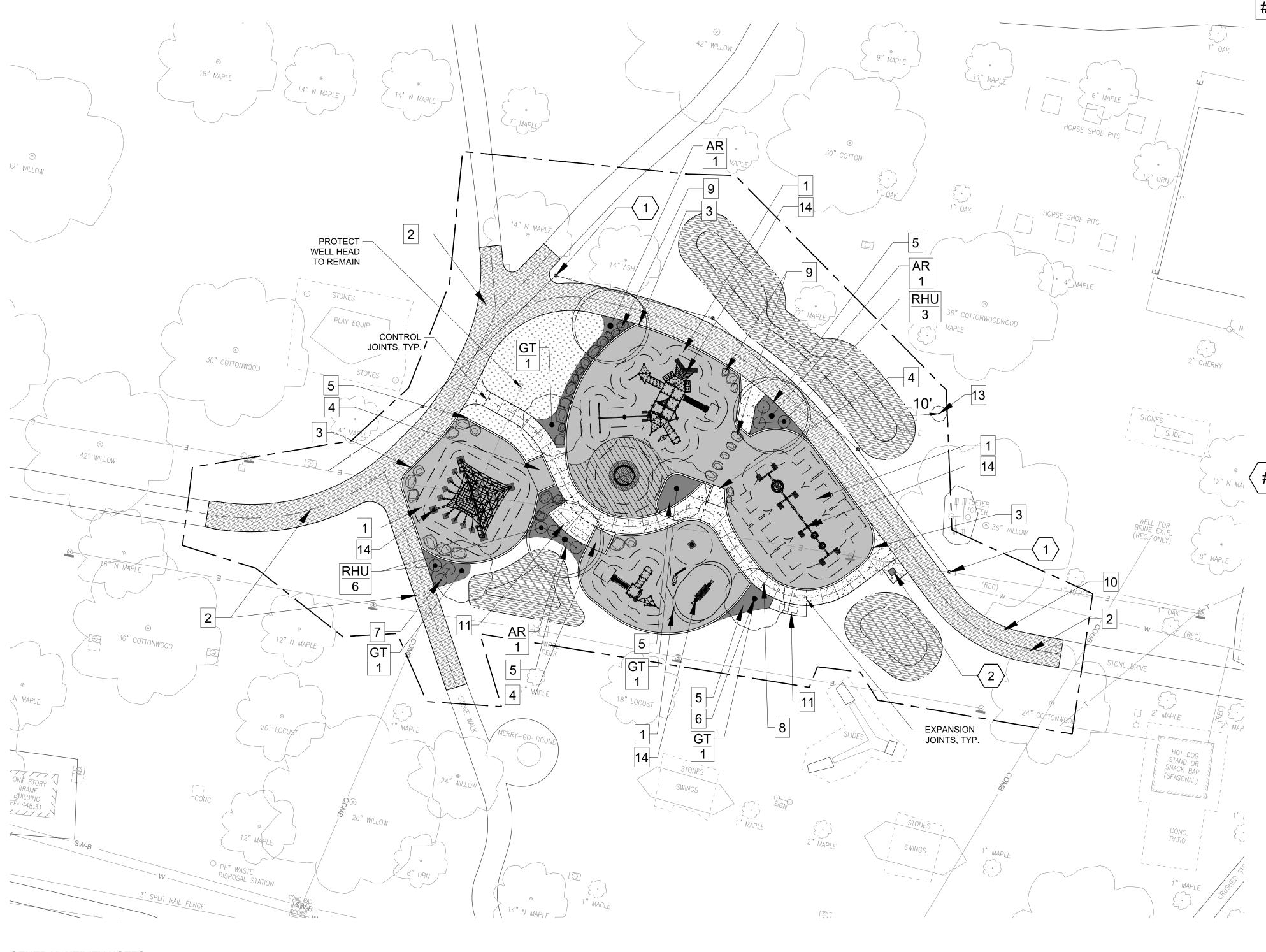
EAST 4TH STREET, WATKINS GLEN, NY 14891

DEMOLITION PLAN

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GENERAL UTILITY NOTES

- 1. THE CONTRACTOR SHALL SEE THAT ALL NECESSARY PERMITS, CERTIFICATIONS, AND/OR INSPECTIONS, REQUIRED BY CODES AND/OR UTILITY SERVICE PROVIDERS, SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING / SITE POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- 2. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.

BID NOTES:

1. ASSUME EXISTING SOIL MATERIAL UNDER TOPSOIL LAYOUT TO BE MISCELLANEOUS FILL MATERIAL AND ORGANIC MATTER. EXISTING FILL AND BURIED ORGANIC LAYER TO BE EXCAVATED AND STOCKPILED ON-SITE AT THE LOCATION SHOWN ON THE PLANS OR AS DETERMINED BY THE VILLAGE OF WATKINS GLEN. MATERIAL DISPOSAL SUBJECT TO NYSDEC PART 360 REGULATIONS AND TESTING REQUIREMENTS PRIOR TO STOCKPILING OR REUSE. TESTING MUST BE PERFORMED BY A "QUALIFIED ENVIRONMENTAL PROFESSIONAL". ASSUME MATERIAL CAN BE REUSED WITHIN LAWN OR PLANTED AREAS (SUCH AS BERMS ADJACENT TO STORMWATER MANAGEMENT FACILITIES) WITH A 12" TOPSOIL CAP. INCLUDE COST OF REUSE/STOCKPILING MATERIAL IN THE PROJECT BASE BID.

PLANT SCHEDULE

SYMBOL	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	SIZE	CONTAINER
TREES					
•	AR	3	ACER RUBRUM 'FRANKSRED' / RED SUNSET® MAPLE	3" CAL.	B&B
•	GT	4	GLEDITSIA TRIACANTHOS F. INERMIS / THORNLESS HONEY LOCUST	3" CAL.	B&B
<u>SHRUBS</u>	RHU	9	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	1 GAL.	POT

SITE IMPROVEMENT NOTES:

- PROVIDE EXCAVATION, GRADING, DRAINAGE LAYER, DRAINAGE PIPING, CONCRETE SIDEWALK, AND CONCRETE CURB. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 2. PROVIDE STONEDUST PATH. SEE DETAIL 5/L-501. ADD ALTERNATE PROVIDE BITUMINOUS ASPHALT. SEE DETAIL 8/L501.
- PROVIDE PLAYGROUND STANDING CONCRETE CURB, TYP. SEE DETAIL 3/L-501.
- 4. PROVIDE PLAYGROUND SLOPED CONCRETE CURB, TYP. SEE DETAIL 2/L-501.
- 5. PROVIDE PLANTING BED WITH 3" DEPTH DOUBLE GROUND HARDWOOD MULCH (NATURAL BROWN) OVER LANDSCAPE FABRIC.
- 6. PROVIDE DECIDUOUS TREE, TYP. SEE DETAIL 1/L-503.
- 7. PROVIDE SHRUB, TYP. SEE DETAIL 2/L-503.
- 8. PROVIDE CONCRETE SIDEWALK. SEE DETAIL 4/L-501
- 9. PROVIDE DECORATIVE BOULDERS. INSTALL 18" ABOVE FINAL GRADE. SEE DETAIL 7/L-501.
- 10. ALTERNATE 1: PROVIDE ASPHALT IN LIEU OF ADA STONEDUST PATH. SEE DETAIL
- 11. PROVIDE 6' BENCH, TYP. AS SPECIFIED. BENCHES (QTY 3) SHOWN ON CONCRETE PAD SHALL BE SURFACE MOUNTED.
- 12. PROVIDE TRASH CAN, TYP. AS SPECIFIED.
- 13. RELOCATE 1" MAPLE AND INSTALL PER DETAIL 1/L-503.
- 14. PLAYGROUND INSTALLER TO PROVIDE PLAYGROUND EQUIPMENT, FOOTINGS, PLAYGROUND SURFACING, AND THEIR INSTALLATION. CONTRACTOR TO COORDINATE WITH PLAYGROUND INSTALLER ON ALL ASPECTS OF PLAYGROUND INSTALL, INCLUDING CURBING. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

UTILITY IMPROVEMENT NOTES:

- POLE LIGHT AND CONDUIT TO BE PROVIDED BY OWNER- INSTALLATION NOT IN CONTRACT. COORDINATE WITH OWNER PRIOR TO STONE DUST WALKWAY INSTALLATION.
- PROVIDE BI-LEVEL, ADA DRINKING FOUNTAIN WITH PET FOUNTAIN AT EXISTING SPIGOT. PROVIDE MODEL: MURDOCK GRM45-PF-FRU3, FREEZE RESISTANT, PEDESTAL, PET FOUNTAIN, PUSH BUTTON, GREEN FINISH, NON-REFRIGERATED. COORDINATE TESTING OF EXISTING LINE WITH OWNER AND VILLAGE OF WATKINS GLENN. SEE SPECIFICATIONS FOR ADDITIONAL TESTING INFORMATION.

LEGEND:

LINETYPE LEGEND

	LIMIT OF WORK
11111111111111	EXISTING BUILDING
SW-B	SALT WATER/BRINE
	PIPELINE
COMB	CARGILL INC. "COMBINED"
	PIPELINE

PAVEMENT LEGEND

STONE DUST WALKWAY
POURED IN PLACE SAFETY SURFACING
ENGINEERED WOOD FIBER MULCH

CURBS AND WALLS LEGEND

 CAST IN PLACE CONCRETE CURB		
DECORATIVE BOULDERS		

PLANTING LEGEND

SEED MIXES

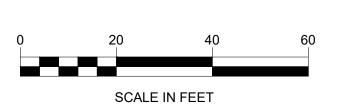
DRY SWALE- SEED WITH LAWN MIX AS SPECIFIED
SEEDING- SEE DETAIL 3/L503

SITE FURNISHINGS LEGEND

- []] BENCHES
- WATER FOUNTAIN SEE UTILITY

LIGHTING LEGEND

POLE LIGHT AND CONDUIT TO BE PROVIDED BY OWNER- INSTALLATION NOT IN CONTRACT. COORDINATE WITH OWNER PRIOR TO STONE DUST WALKWAY INSTALLATION.



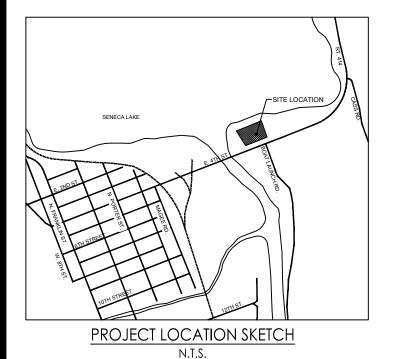




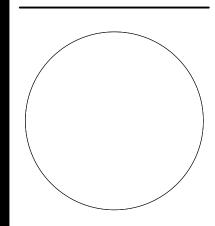
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Issued File Name: L-301 SITE IMPROVEMENT PLAN OP, MM TE TE 2024.07.17



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SCHUYLER COUNTY as agent of VILLAGE OF

CLUTE PARK REDEVELOPMENT

WATKINS GLEN

EAST 4TH STREET, WATKINS GLEN, NY 14891

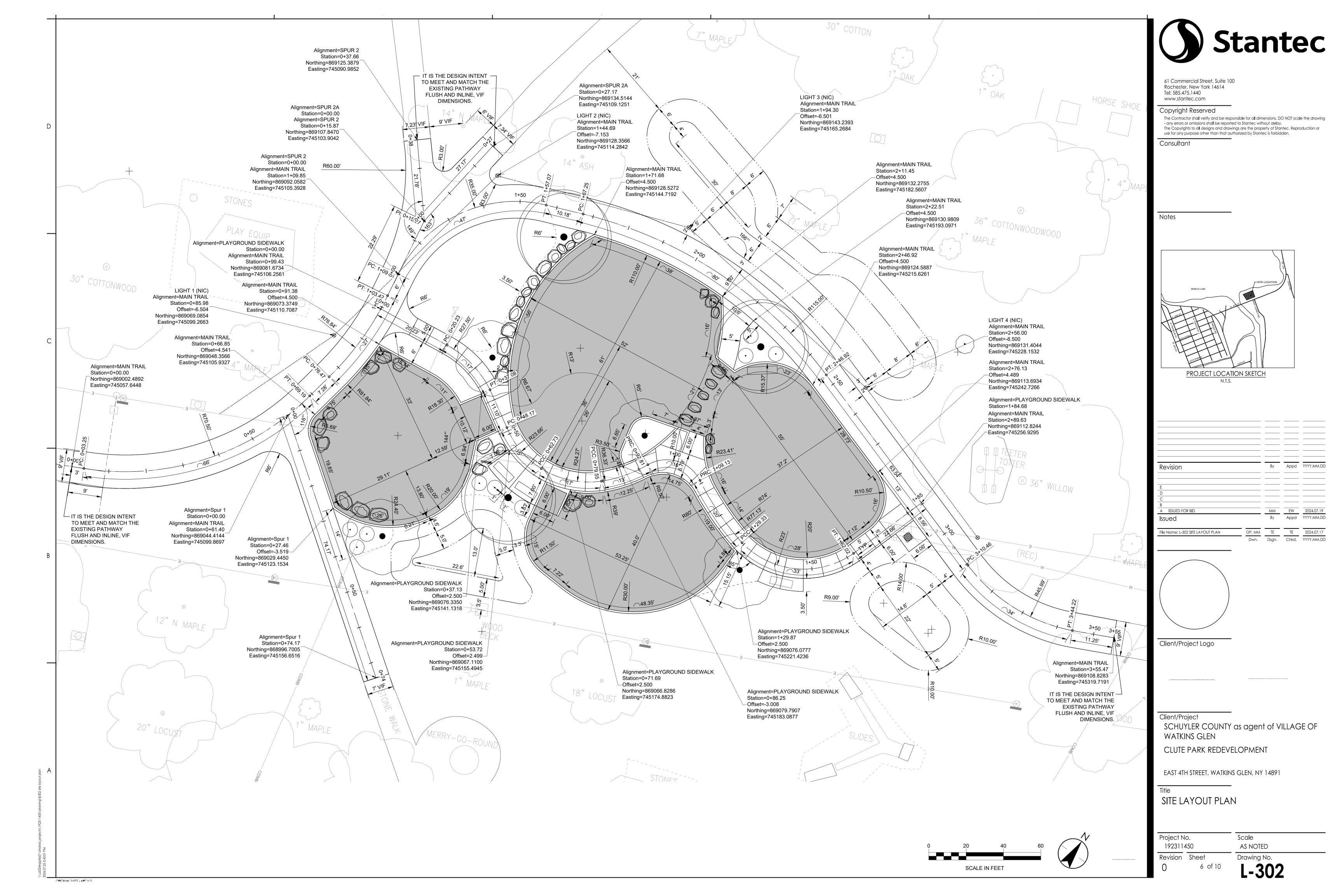
SITE IMPROVEMENT PLAN

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Project No. 192311450 Revision Sheet

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GENERAL GRADING NOTES:

- 1. ALL SITE WORK SHALL CONFORM TO THE CLEARING, STRIPPING AND EROSION CONTROL REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC), THE VILLAGE OF WATKINS GLEN AND ALL STORMWATER PERMITS.
- 2. THE CONTRACTOR SHALL NOTIFY THE VILLAGE OF WATKINS GLEN OF THEIR TIME SCHEDULE IN REGARD TO CLEARING, STRIPPING, MASS GRADING, AND EROSION CONTROL TO PROVIDE FOR PROPER VILLAGE OF WATKINS GLEN INSPECTION.
- 3. ALL PROPOSED ELEVATIONS SHOWN HEREON ARE FINISHED GRADE ELEVATIONS. SPOT ELEVATIONS AT CURB LINE REPRESENTS THE BOTTOM OF CURB FINISHED GRADE UNLESS OTHERWISE NOTED.
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING RIM ELEVATIONS IN RELATION TO PROPOSED FINISHED GRADE PRIOR TO INSTALLATION.
- 5. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO COMMENCING EARTHWORK. EROSION CONTROL DEVICES SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL PROPER GROUNDCOVER HAS BEEN ESTABLISHED IN ALL DISTURBED AREAS OF THE SITE AND REMOVAL IS APPROVED BY THE VILLAGE / SWPPP INSPECTOR.
- 6. INSTALL A STABILIZED CONSTRUCTION ENTRANCE AS DIRECTED BY OWNER'S REPRESENTATIVE. LOCATION OF ENTRANCE IS TBD.
- 7. ALL CURB INLETS, FIELD INLETS, END SECTIONS AND OTHER SIMILAR DRAINAGE INLET STRUCTURES SHALL BE PROTECTED FROM SILTATION BY FILTER FABRIC/EXCAVATED INLET PROTECTION OR OTHER VILLAGE ENGINEER/SWPPP INSPECTOR APPROVED EROSION CONTROL MEASURE
- 8. CLEAR AND GRUB SITE (IF NECESSARY). EXISTING VEGETATION SHALL BE CLEARED FROM THE GRUBBING AREA BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- 9. STRIPPED TOPSOIL SHALL BE STOCKPILED IN AREAS SHOWN ON PLANS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. TOPSOIL SHALL NOT BE MIXED WITH EXCAVATED EXISTING FILL/ORGANIC LAYER MATERIAL. THE STOCKPILE(S) SHALL BE SEEDED AND PROTECTED IN CONFORMANCE WITH NYSDEC REQUIREMENTS. SURROUND PILES WITH SILT FENCE.
- 10. DISTURBED AREAS SHALL BE AS SMALL AS PRACTICAL, AND SHALL BE RESTORED, IMPROVED OR TEMPORARILY STABILIZED AS SOON AS POSSIBLE OR WITHIN SEVEN (7) DAYS AFTER DISTURBANCE HAS CEASED.
- 11. PROVIDE 12" TOPSOIL CAP OVER EXCAVATED MISCELLANEOUS FILL MATERIAL AND ORGANIC MATERIAL THAT IS REUSED IN LAWN/PLANTED AREAS THIS MATERIAL CAN BE USED TO BUILD BERMS ADJACENT TO STORMWATER MANAGEMENT AREAS. IT SHOULD NOT BE USED AS BACKFILL UNDER THE PLAYGROUND OR WALKWAYS.

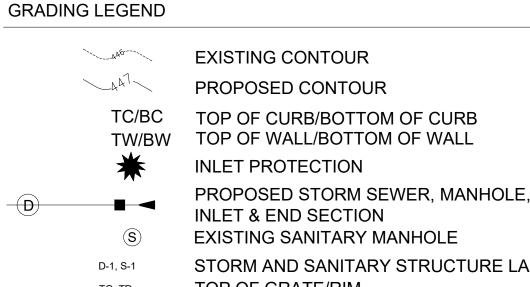
GRADING KEY NOTES:

- PROPOSED SILT FENCE. SEE DETAIL 4/L-502.
- 2. PROPOSED DRY SWALE #1. SEE DETAIL 3/L-502
- 3. PROPOSED DRY SWALE #2. SEE DETAIL 3/L-502
- 4. PROPOSED DRY SWALE #1. SEE DETAIL 3/L-502
- 5. PROPOSED 8" SICPP INTERCONNECTION STORM PIPE AT 0.0%. INVERT 445.5. SEE DETAIL 2/L-502
- 6. 22.5-DEGREE ELBOW FITTING
- 7. RIP RAP APRON (TYP.) SEE DETAIL 1/L-502
- 8. UNDERDRAIN (TYP.) SEE DETAIL 3/L-503. INSTALL TO DRAIN- MIN. 0.5% SLOPE.
- 9. 4" HDPE UNDERDRAIN HEADER PIPE (TYP.) SEE DETAIL 2/L-502. INSTALL TO DRAIN - MIN 0.5% SLOPE.
- 10. POTENTIAL STOCKPILE LOCATION FOR EXCESS MISCELLANEOUS FILL MATERIAL AND ORGANIC MATTER EXCAVATED FROM SITE THAT IS NOT REUSED IN LAWN/PLANTED AREAS. STOCKPILE MUST HAVE 12" TOPSOIL CAP. REFER TO NYSDEC PART 360 REGULATIONS.

GRADING AND DRAINAGE LEGEND:

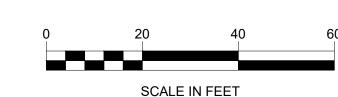
LINETYPE LEGEND LIMIT OF WORK EXISTING BUILDING SALT WATER/BRINE **PIPELINE**

CARGILL INC. "COMBINED" PIPELINE



STORM AND SANITARY STRUCTURE LABELS TOP OF GRATE/RIM PROPOSED PEDESTRIAN POLE LIGHT

PROPOSED SILT FENCE





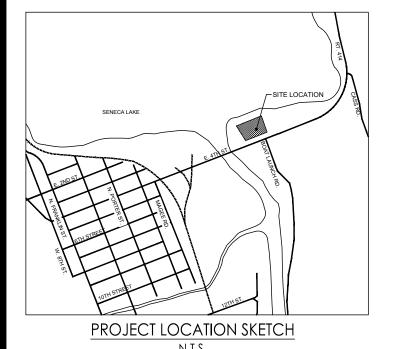


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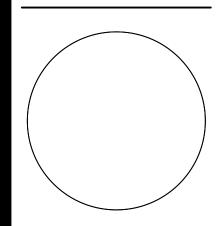
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File Name: L-401 GRADING PLAN	OP, MM	TE	TE	2024.07.1
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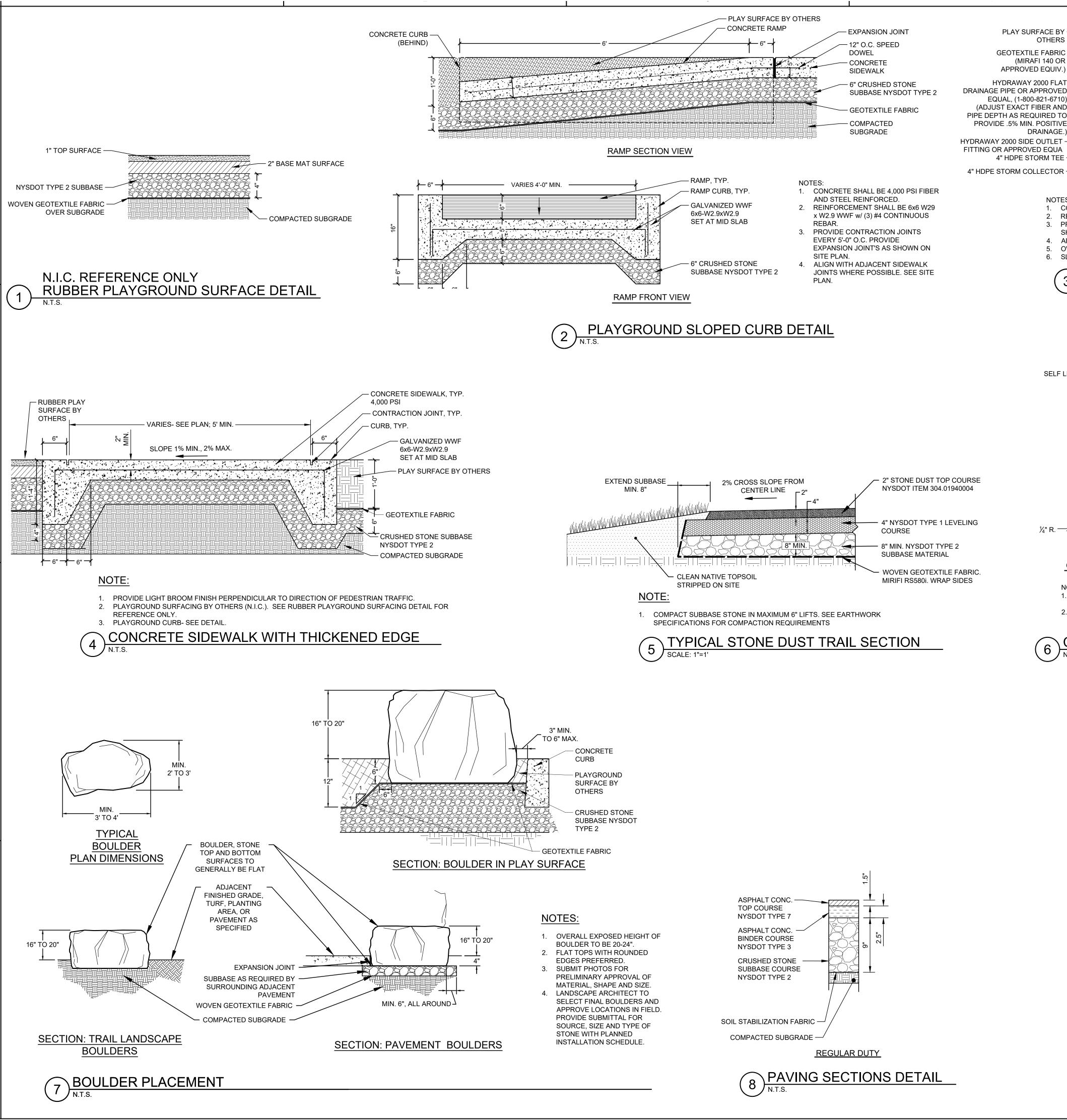
CLUTE PARK REDEVELOPMENT

EAST 4TH STREET, WATKINS GLEN, NY 14891

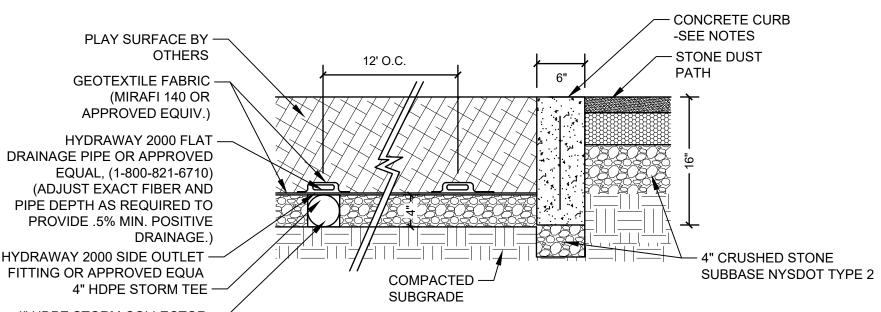
GRADING AND EROSION CONTROL PLAN

Project No. 192311450 Revision Sheet 7 of 10 Scale AS NOTED Drawing No. L-40²

ORIGINAL SHEET - ARCH D



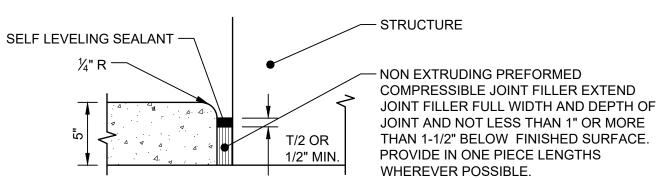
ORIGINAL SHEET - ARCH D



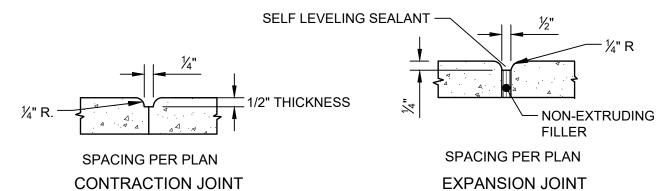
NOTES:

1. CONCRETE SHALL BE 4,000 PSI FIBER REINFORCED.

- 2. REINFORCEMENT SHALL BE 6x6 W29 x W2.9 WWF w/ (3) #4 CONTINUOUS REBAR. 3. PROVIDE CONTRACTION JOINTS EVERY 5'-0" O.C. PROVIDE EXPANSION JOINT'S AS
- SHOWN ON SITE PLAN. 4. ALIGN WITH ADJACENT SIDEWALK JOINTS WHERE POSSIBLE. SEE SITE PLAN.
- 5. OVERLAP GEOTEXTILE FABRIC EDGES MIN. 2'-0".
- 6. SLOPE STORM COLLECTOR MIN 0.5%. SEE GRADING PLAN FOR MORE INFORMATION PLAYGROUND STANDING CURB



ISOLATION JOINT



- 1. SIDEWALK SHOULD BE SCORED VIA TOOLED PICTURE FRAME AND SAW CUT IN
- CONSISTENTLY SIZED SQUARES OR RECTANGLES WITH SPACING AS SHOWN ON PLAN. 2. PROVIDE ISOLATION JOINTS AT ALL LOCATIONS WHERE PROPOSED SLABS MEET EXISTING STRUCTURES.

6 CONCRETE SIDEWALK JOINT DETAIL



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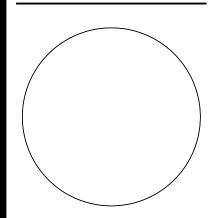
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Notes

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CLUTE PARK REDEVELOPMENT

EAST 4TH STREET, WATKINS GLEN, NY 14891

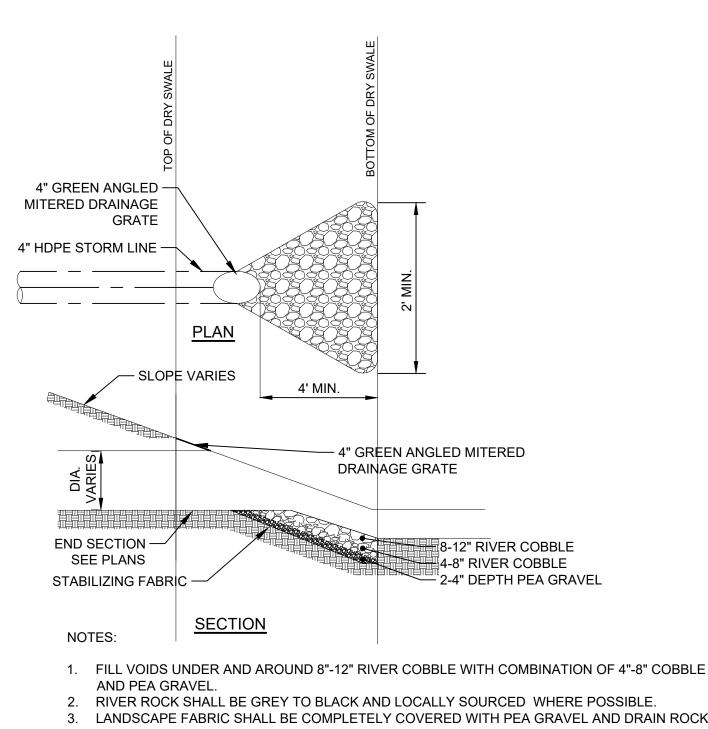
SITE DETAILS

Project No. 192311450 Revision Sheet 8 of 10

Drawing No.

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Scale



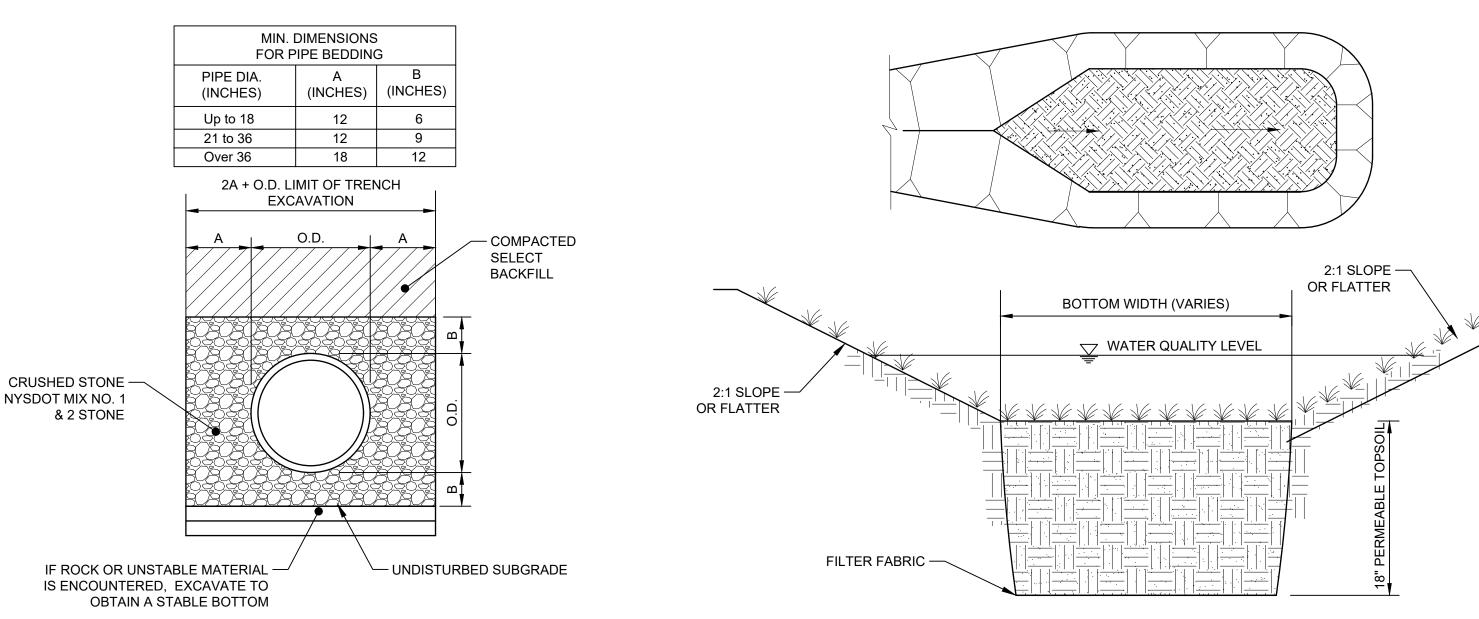
- LANDSCAPE FABRIC SHALL BE COMPLETELY COVERED WITH PEA GRAVEL AND DRAIN ROCK. WHERE 4"-8" RIVER COBBLE USED THERE SHALL BE A MIN. OF TWO LAYERS.

36" MIN. FENCE POSTS, DRIVEN —

MIN. 16" INTO GROUND

4. WRAP FABRIC A MIN. OF 1' AT TOP AND BOTTOM OF STONE APRON.





NOTE: FOR PERMEABLE SOIL, SEE MOST CURRENT EDITION OF NYSDOT SPECIFICATIONS - ITEM NO. 208.01030022

WOOD RAIL OR ORANGE -

CONSTRUCTION SAFETY FENCE .

1' OFFSET CURB OR

CONC. GUTTER

DIAMETER

LESS THAN 10"

10" - 14"

15" - 19"

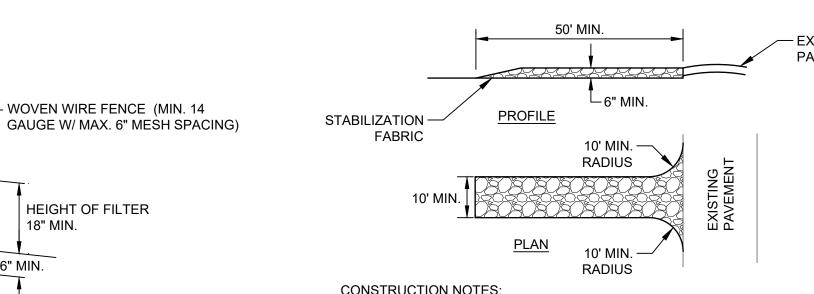
20" OR MORE

DRY SWALE DETAIL

STORM PIPE BEDDING DETAIL

STONE ENCASEMENT

(PVC, CPP, PE)



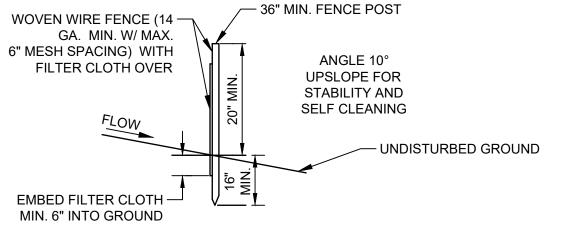
10' MAX. O.C

WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T"OR "U" TYPE OR HARDWOOD FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN

WIRE 6" MAXIMUM MESH OPENINGS WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED

PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

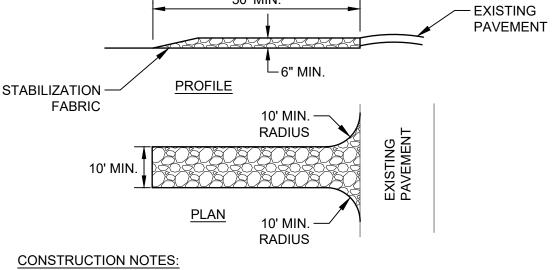
SECTION



5 STABILIZED CONSTRUCTION ENTRANCE

HEIGHT OF FILTER

18" MIN.



1. STONE SIZE - USE 2" STONE, OR RECLAIMED CONCRETE EQUIVALENT. 2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT

WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY). 3. THICKNESS - NOT LESS THAN SIX (6) INCHES. 4. WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE

INGRESS OR EGRESS OCCURS. 5. STABILIZATION FABRIC - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE. 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE

BERM WITH 5:1 SIDE SLOPES WILL BE PERMITTED. 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED DROPPED. WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS TO AN APPROVED SEDIMENT TRAPPING DEVICE. 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

TREE PROTECTION DETAIL

DISTANCE OF FENCING

FROM FACE OF TREE TRUNK

10'

12'

15'

× II.

- 6" TO 12"

OFFSET

THIS TREATMENT.

TREE CANOPY.

2. DO NOT LEAVE CONSTRUCTION

EQUIPMENT RUNNING (IDLING) UNDER

EROSION CONTROL NOTES:

CONSTRUCTION NOTES FOR FABRICATED FENCE

CONTRACTOR TO MAINTAIN ALL CONSTRUCTION RECORDS & CERTIFIED REPORTS AS NECESSARY FOR THE NYSDEC SPDES, PHASE II GENERAL PERMIT REQUIREMENTS FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY. COPIES OF THE RECORDS AND REPORTS MUST BE MAINTAINED BY THE CONTRACTOR ON SITE UNTIL THE NOTICE OF TERMINATION HAS BEEN ACCEPTED BY THE NYSDEC.

EROSION CONTROL DEVICES, INCLUDING SEDIMENT BARRIERS (SILT FENCE, STONE FILTERS OR APPROVED EQUAL) TO BE ESTABLISHED PRIOR TO COMMENCING GRUBBING OPERATIONS. ALL EROSION CONTROL DEVICES MUST BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE WORK AND UNTIL UPSTREAM GROUNDCOVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE OWNER AND/OR MUNICIPALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL FEATURES AND ALL STORMWATER MANAGEMENT FACILITIES THROUGHOUT THE DURATION OF CONSTRUCTION.

A. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSPECTED BY THE CONTRACTOR'S NYSDEC QUALIFIED PROFESSIONAL AT LEAST EVERY 7 CALENDAR DAYS TO ENSURE THAT ALL CONTROLS ARE MAINTAINED AND PROPERLY FUNCTIONING. ANY REQUIRED REPAIRS SHALL BE MADE BY THE CONTRACTOR WITHIN 24 HOURS OF THE WEEKLY

B. ALL SEDIMENT TRAPPING DEVICES, INLET PROTECTION DEVICES AND STORMWATER MANAGEMENT FACILITIES SHALL BE CLEANED OF ACCUMULATED SILT WHEN STORAGE CAPACITY HAS BEEN REDUCED BY APPROXIMATELY 50% OF THEIR DESIGN CAPACITY OR AS INDICATED ON THE EROSION CONTROL PLANS OR AS DIRECTED BY THE SWPPP

C. ALL SEDIMENT SHALL BE REMOVED FROM BEHIND SILT FENCE WHEN IT ACCUMULATES TO A MAXIMUM HEIGHT OF 6"

DEEP AT THE FENCE OR AS OTHERWISE DIRECTED. D. AFTER VEGETATION HAS BEEN SUBSTANTIALLY ESTABLISHED, EXCAVATE SWALES OF ACCUMULATED SILT,

CONSTRUCT DRY SWALES AND RE-ESTABLISH VEGETATION ON DISTURBED AREAS. E. SEDIMENT COLLECTED BY EROSION CONTROL MEASURES SHALL BE DISPOSED OF BY SPREADING ON-SITE OR HAULED OFF-SITE IF DETERMINED TO BE UNSUITABLE FOR FILL.

3. DISTURBED AREAS SHALL BE AS SMALL AS PRACTICAL, AND SHALL BE RESTORED, IMPROVED OR TEMPORARILY STABILIZED

AS SOON AS POSSIBLE. 4. THE CONTRACTOR SHALL TAKE THE NECESSARY MEASURES, INCLUDING WATER SPRINKLING, TO PROVIDE DUST CONTROL DURING CONSTRUCTION TO THE SATISFACTION OF THE OWNER. THE CONTRACTOR SHALL NOT DISCHARGE DUST INTO THE

ATMOSPHERE OF SUCH QUANTITIES, CHARACTER OR DURATION THAT IT UNREASONABLY INTERFERES WITH THE COMFORTABLE ENJOYMENT OF LIFE AND PROPERTIES OR IS HARMFUL TO PLANTS AND ANIMALS. NO SEDIMENT FROM THE SITE SHALL BE PERMITTED TO WASH ONTO ADJACENT PROPERTIES, WETLANDS OR ROADS.

5. THE CONTRACTOR SHALL MINIMIZE THE AMOUNT OF SEDIMENT ENTERING UTILITIES. ALL MANHOLES, CURB INLETS, FIELD INLETS, END SECTIONS OR OTHER SIMILAR DRAINAGE INLET STRUCTURES SHALL BE PROTECTED FROM SILTATION BY INSTALLING FILTER FABRIC, CRUSHED STONE CHECK DAMS, EXCAVATED INLET PROTECTION AND/OR OTHER OWNER-APPROVED EROSION CONTROL MEASURES. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL A NOTICE OF TERMINATION HAS BEEN ACCEPTED BY NYSDEC.

 $6.\quad$ ALL DISTURBED AREAS THAT WILL NOT BE WORKED WITHIN 14 DAYS MUST BE SEEDED WITHIN 7 DAYS. 7. ALL DISTURBED AND CONSTRUCTED SLOPE AREAS SHALL BE SEEDED IMMEDIATELY AFTER CONSTRUCTION HAS BEEN

8. THE CONTRACTOR SHALL SWEEP STREETS WEEKLY OR MORE FREQUENTLY AS REQUIRED TO KEEP STREETS FREE OF DEBRIS AND SEDIMENT.

9. CONTRACTOR TO CLEAN/FLUSH STORM SEWER (SEE SWPPP FOR FLUSHING PROCEDURE) BEFORE ACCEPTANCE BY THE OWNER'S Q.C. REPRESENTATIVE OR AS REQUIRED. 10. THE DESIGN PLANS HAVE BEEN PREPARED AS THE MINIMUM REQUIREMENTS FOR EROSION AND SEDIMENT CONTROL. BASED ON FIELD CONDITIONS, THE CONTRACTOR MAY BE REQUIRED TO PROVIDE ADDITIONAL EROSION AND SEDIMENT CONTROL

MEASURES ON A SITE- SPECIFIC BASIS. 11. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE MEASURES MAY HAVE TO BE ALTERED DUE TO EVER-CHANGING SITE CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION AND SEDIMENT CONTROL FOR ALL DRAINAGE PATTERNS

CREATED AT VARIOUS STAGES OF CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION CONTROL DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE OWNER IMMEDIATELY. 12. ANY FAILURE OF EROSION CONTROL DEVICES FOR ANY REASON SHALL BE REPORTED TO THE OWNER IMMEDIATELY. 13. ALL SLOPES 3:1 OR GREATER SHALL RECEIVE EROSION CONTROL BLANKET MATTING AS OUTLINED IN THE SWPPP.

14. THE STOCKPILED TOPSOIL SHALL BE SPREAD TO A 4" THICKNESS TO BRING THE SITE TO FINISHED GRADE ELEVATIONS IN ALL AREAS TO BE SEEDED IN THE FINAL SITE CONDITION EXCEPT IN AREAS WHERE EXCAVATED EXISTING FILL/ORGANIC LAYER WILL BE REUSED. THESE AREAS SHOULD BE COVERED BY 12" OF CLEAN TOPSOIL.

15. REFER TO THE SUBSURFACE EXPLORATION AND FOUNDATION REPORT AS PREPARED BY CME ASSOCIATES, INC. AND DATED FEBRUARY 19, 2020 FOR SOIL EXCAVATION, PRELOADING, AND BACKFILL REQUIREMENTS.

16. SEQUENCE OF CONSTRUCTION A. CLEARLY IDENTIFY PROJECT WORK LIMITS IDENTIFYING ALL AREAS WHERE CONSTRUCTION DISTURBANCE SHALL NOT BE PERMITTED INCLUDING, BUT NOT LIMITED TO BUFFER AREAS, WETLANDS, SELECT TREES AND ADJOINING

B. CLEARLY IDENTIFY AND PROTECT AREAS TO BE USED FOR GREEN INFRASTRUCTURE.

C. INSTALL A STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON PLANS OR AS DIRECTED BY SWPPP INSPECTOR OR

D. INSTALL TREE PROTECTION AND PERIMETER EROSION CONTROL MEASURES. CONSTRUCT TEMPORARY EARTHEN BERMS, DIVERSION SWALES, SEDIMENT CONTROL DAMS AND ASSOCIATED EROSION AND SEDIMENT CONTROL

MEASURES AS NECESSARY TO DIVERT RUNOFF FROM ENTERING AREAS OF PLANNED DISTURBANCE. E. ESTABLISH TEMPORARY SEDIMENT BASINS, INCLUDING TEMPORARY VEGETATIVE STABILIZATION PRIOR TO COMMENCING EARTHWORK OPERATIONS.

CLEAR AND GRUB SITE.

G. ALL CLEARED VEGETATION SHALL BE REMOVED AND DISPOSED TO AN APPROVED LANDFILL. H. STRIP AND STOCKPILE TOPSOIL FROM PROPOSED PAVEMENT, STRUCTURAL FILL AND CUT AREAS (STOCKPILE

LOCATIONS AS DIRECTED BY OWNER). REMOVE EXISTING FILL AND BURIED ORGANIC LAYER AS DIRECTED. PRELOAD AND BACKFILL AREAS WITH STRUCTURAL FILL MATERIAL (LIGHTWEIGHT SAND FILL) PER GEOTECHNICAL REPORT.

J. ESTABLISH MASS GRADE ELEVATIONS. K. ALL DISTURBED AREAS ARE TO BE MULCHED AND SEEDED FOR TEMPORARY VEGETATIVE COVER IMMEDIATELY FOLLOWING GRADING. ALL TEMPORARY EROSION CONTROL MEASURES NOT INSTALLED PRIOR TO MASS GRADING

SHALL BE INSTALLED AT THIS TIME. L. CONSTRUCT STORMWATER MANAGEMENT FEATURES, INCLUDING OUTLET STRUCTURES.

M. CONSTRUCT UTILITIES, INFRASTRUCTURE IMPROVEMENTS, ETC.

N. INSTALL GREEN INFRASTRUCTURE STORMWATER FACILITIES. STAKE THE PERIMETER OF THE FACILITY AND PROTECT AREA DURING CONSTRUCTION.

O. MODIFY AND SPREAD TOPSOIL, FINE GRADE AND SEED. INSTALL GREEN INFRASTRUCTURE FACILITY LANDSCAPING.

SEE LANDSCAPING AND SEEDING NOTES FOR SEED MIX. P. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL FEATURES UPON ESTABLISHMENT OF PERMANENT GROUND

Q. NOTIFY OWNER OF COMPLETION OF FINAL SITE STABILIZATION.

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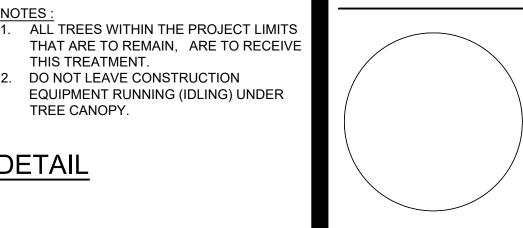
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Notes

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CLUTE PARK REDEVELOPMENT

EAST 4TH STREET, WATKINS GLEN, NY 14891

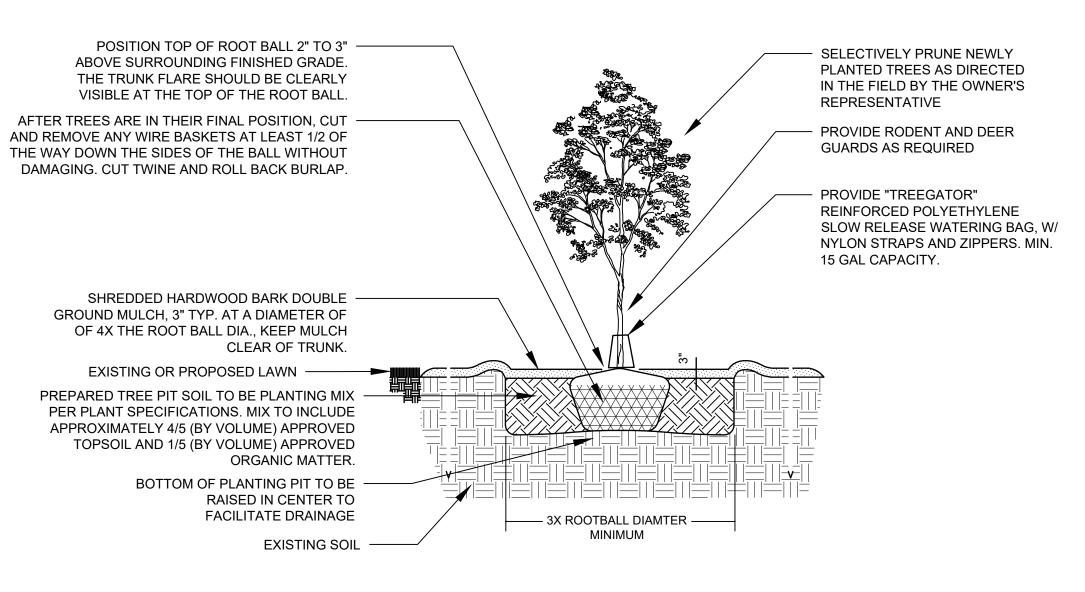
SITE DETAILS

Project No. Scale 192311450 Revision Sheet

Drawing No.

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ORIGINAL SHEET - ARCH I

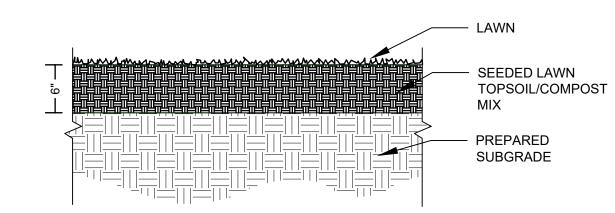


PRUNE 1/5 OF GROWTH & BROKEN — BRANCHES BUT RETAIN LEADERS AND NATURAL FORM OF SHRUB 3" MULCH WITHIN EARTH SAUCER — WEED BARRIER — A.N.L.A. STD. ROOT TOPSOIL MIXTURE BALL BALL AS PER A.N.L.A. A.N.L.A. UNDISTURBED EARTH -STD. STD.

NOTES:

- 1. SPRAY ALL PLANTS WITH ANTI-DESICCANT. 2. SHRUB SHALL HAVE SAME RELATION TO FINISH GRADE AS EXISTED AT NURSERY.
- 3. IF BALLED & BURLAPPED, REMOVE TOP 1/3 OF BURLAP.
- 4. ALL BEDS SHALL HAVE SHOVEL CUT EDGES.





NOTE: CONTRACTOR SHALL FOLLOW SPECIFICATIONS FOR SEEDING, WATERING, AND OTHER GENERAL REQUIREMENTS AS THEY RELATE TO LAWN ESTABLISHMENT IN ORDER TO OBTAIN FINAL ACCEPTANCE OF ALL LAWN AREAS ON SITE.

3 SEEDED LAWN
N.T.S.



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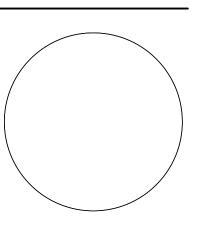
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SITE DETAILS

Project No. 192311450 Revision Sheet Scale AS NOTED Drawing No.

1 TREE PLANTING DETAIL